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DEVELOPMENT APPLICATION

VOTRAINT NO124 PTY LTD
PROJECT NO: 2201



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PROJECT TITLE:
174-178 LANG STREET, KURRI KURRI
ISSUED FOR
DEVELOPMENT APPLICATION

Drawing Title
Drawing Scale
Issue Date
Revision

DRAWING LIST
NTS
21/02/2024
C

Drawing

DA01



VOTRAINT NO124 PTY LTD
PROJECT NO: 2201



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PROJECT TITLE:
174-178 LANG STREET, KURRI KURRI
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Drawing Title
Drawing Scale
Issue Date
Revision

SITE PLAN
1:1000@A3
21/08/2023
B

Drawing
DA02



VOTRAINT NO124 PTY LTD
PROJECT NO: 2201



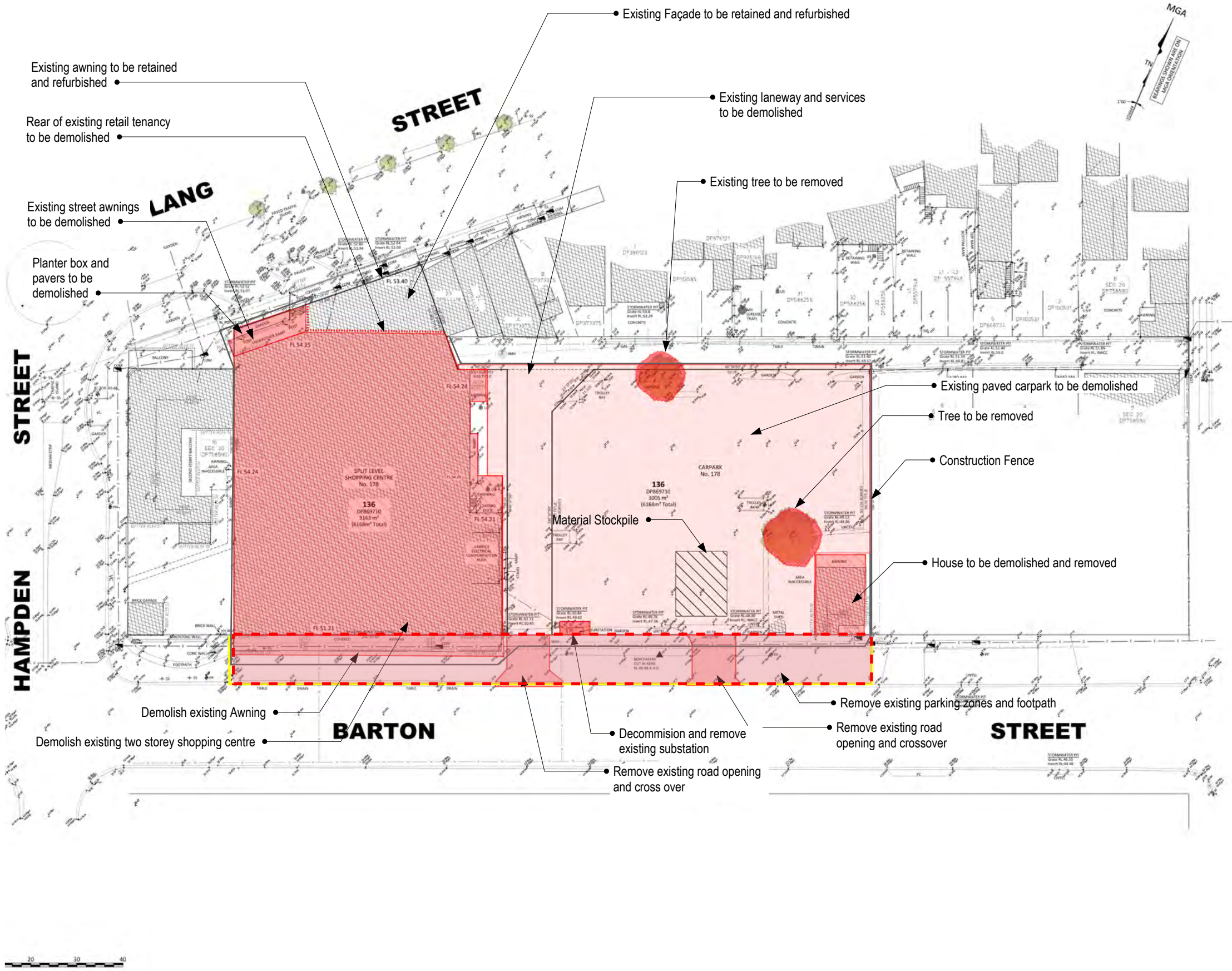
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PROJECT TITLE:
174-178 LANG STREET, KURRI KURRI
ISSUED FOR
DEVELOPMENT APPLICATION

Drawing Title
Drawing Scale
Issue Date
Revision

SITE ACQUISITION PLAN
1:1000@A3
21/08/2023
B

Drawing
DA03



DEMOLITION NOTES

CONTRACTOR TO CONFIRM EXISTING CONDITIONS ON SITE.

CONTRACTOR TO DEMOLISH EXISTING STRUCTURE/REMOVE ALL MATERIALS. CUT AND SEAL SERVICES AS REQUIRED IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS AND A.S. CODES FOR THAT TRADE U.N.O

PROTECTION OF WORKS AS REQUIRED BY LOCAL AUTHORITIES

CLEANING OF SITE TO EPA REQUIREMENTS BY CONTRACTOR

ASBESTOS

CONTRACTOR TO ALLOW FOR COMPLETE DEMOLITION & REMOVAL OF ALL ASBESTOS PRODUCTS. ALL ASBESTOS PRODUCTS TO BE REMOVED & HANDLED AS PER RELEVANT AUSTRALIAN STANDARDS

EXTENT OF DEMOLITION WORK AS INDICATED ON THIS DRAWING & HERITAGE CONSULTANTS DRAWINGS & SPECIFICATIONS, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

REMOVAL/DEMOLITION OF ALL EXISTING FLOORS/SLABS & FOOTINGS, EXTERNAL AND INTERNAL WALLS, WINDOWS, DOORS, CLADDING, GUTTERS, DOWNPIPES, RAINWATER HEADS, CAPPINGS, FLASHING GUTTER BOARD SUPPORTS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING WORKS INCLUDING BUT NOT LIMITED TO EXTERNAL STEPS, PATHS, CARPARKS, PLANTERS & LANDSCAPING, GATES, FENCES, GARDEN WALLS, RETAINING WALLS, BOLLARDS, LIGHT BLADES SIGNS, COLUMNS ETC. U.N.O

REMOVAL/DEMOLITION OF ALL EXISTING FIXTURES AND FITTINGS INCLUDING BUT NOT LIMITED TO LIGHTS, TAPS, BASINS, WCS ETC. DISCONNECTION & REMOVAL OF EXISTING SERVICES TO BE UNDERTAKEN BY APPROPRIATE CONTRACTORS

CONTRACTOR TO MAKE GOOD DAMAGE TO ADJOINING BUILDINGS, PAVEMENT, LANEWAYS, ROADS, FENCES, KERBS, CHANNELS, SERVICES, STREET FURNITURE, CARSPACE MARKINGS ETC. (IE. ANY ADJOINING OBJECTS/MATERIALS NOT WITHIN SITE BOUNDARY) RESULTING FROM DEMOLITION WORKS.

ALL REPAIRS TO AUTHORITY REQUIREMENTS OR TO CONDITION PRIOR TO DEMOLITION. CONTRACTORS ARE RESPONSIBLE FOR RELOCATION AND CO-ORDINATION OF ROAD CARPARKING MARKINGS, TICKET MACHINES ETC.

DUST CONTROL

THE TECHNIQUES ADOPTED FOR STRIPPING OUT AND FOR DEMOLITION SHALL MINIMISE THE RELEASE OF DUST INTO THE ATMOSPHERE. BEFORE THE COMMENCEMENT OF STRIPPING OR DEMOLITION IN AN AREA OF A STRUCTURE, ANY EXISTING ACCUMULATIONS OF DUST IN THAT AREA SHALL BE COLLECTED, PLACED IN SUITABLE CONTAINERS AND REMOVED. SELECTION OF AN APPROPRIATE COLLECTION TECHNIQUE, SUCH AS VACUUMING OR HOISING DOWN, SHALL TAKE DUE ACCOUNT OF THE NATURE OF THE DUST AND THE TYPE OF HAZARD IT PRESENTS. DUST GENERATED DURING STRIPPING, OR DURING THE BREAKING DOWN OF THE BUILDING FABRIC TO REMOVABLE SIZED PIECES, SHALL BE KEPT DAMP UNTIL IT IS REMOVED FROM THE SITE OR CAN BE OTHERWISE CONTAINED. THE USE OF EXCESS WATER FOR THIS PURPOSED SHALL BE AVOIDED.

NOISE CONTROL

NOISE SHALL BE MINIMISED AS FAR AS PRACTICABLE, BY THE SELECTION OF APPROPRIATE METHODS AND EQUIPMENT, AND BY THE USE OF SILENCING DEVICES WHEREVER PRACTICABLE TO EPA/CODE REQUIREMENTS.

NOTE:

1. ATTENTION IS DRAWN TO RECOMMENDATIONS IN AS.2436
2. HOURS OF OPERATING EQUIPMENT MAY BE RESTRICTED BY REGULATORY AUTHORITY

FIRE SERVICES

WHERE A FIRE HYDRANT SERVICE OR A FIRE HOSE REEL SERVICE IS PROVIDED IN A BUILDING, IT SHALL BE AVAILABLE AT ALL TIMES DURING THE DEMOLITION OF THE BUILDING, SO THAT ALL REMAINING STOREYS EXCEPT THE TWO UPPERMOST STOREYS, ARE SERVICED. ACCESS TO THE FIRE PROTECTION SERVICES, INCLUDING ANY BOOSTER FITTING, SHALL BE MAINTAINED AT ALL TIMES. IF A SPRINKLER SYSTEM IS INSTALLED IN A BUILDING TO BE DEMOLISHED, IT SHALL BE MAINTAINED IN AN OPERABLE CONDITION AT EACH STOREY BELOW THE TWO UPPERMOST UNSTRIPPED STOREYS.

SUITABLE PORTABLE FIRE EXTINGUISHERS SHALL BE KEPT AT ALL TIMES IN WORKING AREA AND ARE NOT PROTECTED BY OTHER FIRE SERVICES, AND MAINTAINED IN AN OPERABLE CONDITION.

PRELIMINARY

PRECAUTIONARY MEASURES TO BE UNDERTAKEN AS DESCRIBED IN AS.2601-2001. A "HAZARDOUS SUBSTANCES MANAGEMENT PLAN" IS TO BE IMPLEMENTED BEFORE AND DURING DEMOLITION. IF THE PRELIMINARY INVESTIGATION OF THE BUILDING IDENTIFIES ANY HAZARDOUS MATERIALS CONTAINED THEREIN, THESE MATERIALS WILL BE REMOVED AS PER THE GUIDELINES OF THE RESPONSIBLE AUTHORITY AND CLEARANCE CERTIFICATE OBTAINED BEFORE DEMOLITION COMMENCES

SAFETY FENCING

SECURITY FENCES SHALL BE PROVIDED TO THE STREET BOUNDARY OF THE DEMOLITION SITE AND ANY ADDITIONAL PRECAUTIONARY MEASURES, TAKEN AS MAY BE NECESSARY TO PREVENT UNAUTHORISED ENTRY TO THE SITE, WHERE THE DEMOLITION SITE ADJOINS A PUBLIC THOROUGHFARE THE COMMON BOUNDARY BETWEEN THEM SHALL BE FENCED FOR ITS FULL LENGTH WITH A HOARDING UNLESS THE LEAST HORIZONTAL DISTANCE BETWEEN THE COMMON BOUNDARY AND THE NEAREST PART OF THE STRUCTURE IS GREATER THAN TWICE THE HEIGHT OF THE STRUCTURE. THE FENCING SHALL BE THE EQUIVALENT OF THE CHAIN WIRE AS SPECIFIED IN AS.1725

NOTICES LETTERED IN ACCORDANCE WITH AS.1319 AND DISPLAYING THE WORDS "WARNING DEMOLITION IN PROGRESS", OR SIMILAR, SHALL BE FIXED TO THE FENCING AT APPROPRIATE PLACES TO WARN THE PUBLIC. PROVISION SHALL BE MADE FOR READY ACCESS TO THE SITE BY EMERGENCY SERVICES PERSONNEL IN THE EVENT OF FIRE OR ACCIDENT

DEMOLITION WORK

STRUCTURES SHALL BE DEMOLISHED IN THE REVERSE ORDER TO THAT OF THEIR CONSTRUCTION. THE ORDER OF DEMOLITION FOR BUILDINGS SHALL BE PROGRESSIVE, STOREY BY STOREY, HAVING PROPER REGARD TO THE TYPE OF CONSTRUCTION, NO PART OF ANY STRUCTURE SHALL BE LEFT UNSUPPORTED OR UNATTENDED IN SUCH A CONDITION THAT IT MAY COLLAPSE OR BECOME DANGEROUS. PRECAUTIONS SHALL BE TAKEN TO ENSURE THAT THE STABILITY OF ALL PARTS OF THE STRUCTURE, AND THE SAFETY OF PERSONS ON AND OUTSIDE THE SITE, WILL BE MAINTAINED IN THE EVENT OF SUDDEN AND SEVERE WEATHER CHANGES.

WALLS ON THE BOUNDARIES ARE TO BE DEMOLISHED IN A SAFE AND WORKMANSHIP LIKE MANNER. WALLS SHALL NOT BE LATEROALLY LOADED BY ACCUMULATED DEBRIS OR RUBBLE, TO THE EXTENT THAT THEY ARE IN DANGER OF COLLAPSE. ALLOWABLE LOADING OF THE SUSPENDED FLOORS SHALL BE DETERMINED BY AN INDEPENDENT STRUCTURAL ENGINEER.

ADJOINING PROPERTIES

SAFE ACCESS TO AND EGRESS FROM ADJOINING BUILDINGS SHALL BE MAINTAINED AT ALL TIMES FOR THE DURATION OF THE DEMOLITION WORK. NO DEMOLITION ACTIVITY SHALL CAUSE DAMAGE TO OR ADVERSELY AFFECT THE STRUCTURAL INTEGRITY OF ADJOINING BUILDINGS. THE EFFECTS OF VIBRATION AND CONVERSION ON ADJOINING BUILDINGS AND THEIR OCCUPANTS SHALL BE MINIMISED BY SELECTING DEMOLITION METHODS AND EQUIPMENT APPROPRIATE TO THE CIRCUMSTANCES. WHERE ANY SURFACE OF AN ADJOINING BUILDING IS EXPOSED BY DEMOLITION, THE NEED FOR WEATHERPROOFING THE EXPOSED SURFACE SHALL BE INVESTIGATED AND TEMPORARY OR PERMANENT PROTECTION PROVIDED AS APPROPRIATE. PRECAUTIONS SHALL BE TAKEN TO MINIMISE THE SPREADING OF MUD AND DEBRIS BY VEHICLES LEAVING THE SITE.

GENERAL

OPENINGS IN EXISTING WALLS AND FLOORS, THROUGH WHICH THERE IS A RISK OF PERSONS FALLING TO LOWER LEVEL, SHALL BE EITHER PROPERLY GUARDED OR BOARDED OVER AND THE BOARDING SECURED AGAINST UNAUTHORISED OR ACCIDENTAL REMOVAL. PRECAUTIONS SHALL BE TAKEN TO PREVENT GLASS FROM FALLING ON ANY PERSON IN OR OUTSIDE THE BUILDING. DEMOLISHED MATERIAL SHALL NOT BE ALLOWED TO FALL FREELY OUTSIDE THE STRUCTURE UNLESS IT IS CONFINED WITHIN A CHUTE OR SIMILAR ENCLOSURE, WHICH IS CLEAR OF OBSTRUCTIONS TO OBJECTS FALLING FREELY.

DEMOLISHED MATERIAL SHALL BE REMOVED PROGRESSIVELY FROM THE SITE AND AT ANY TIME, SHALL NOT BE ALLOWED TO ACCUMULATE TO THE EXTENT THAT IT PRESENTS A HAZARD TO THE PUBLIC OR TO SITE PERSONNEL.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH HERITAGE CONSULTANTS DRAWINGS AND SPECIFICATIONS

SITE PROTECTION/SHORING LEGEND

PERMANENT SITE SHORING
TEMPORARY SITE SHORING
NOTE:
REFER STRUCTURAL ENGINEERS DRAWINGS FOR ALL SITE PROTECTION AND SHORING DETAILS

LEGEND

- BULK EXCAVATION
- STRUCTURES TO BE DEMOLISHED
- TREES TO BE REMOVED
- SEDIMENT CONTROL FENCE
- SECURITY FENCE

VOTRAINT NO124 PTY LTD
PROJECT NO: 2201



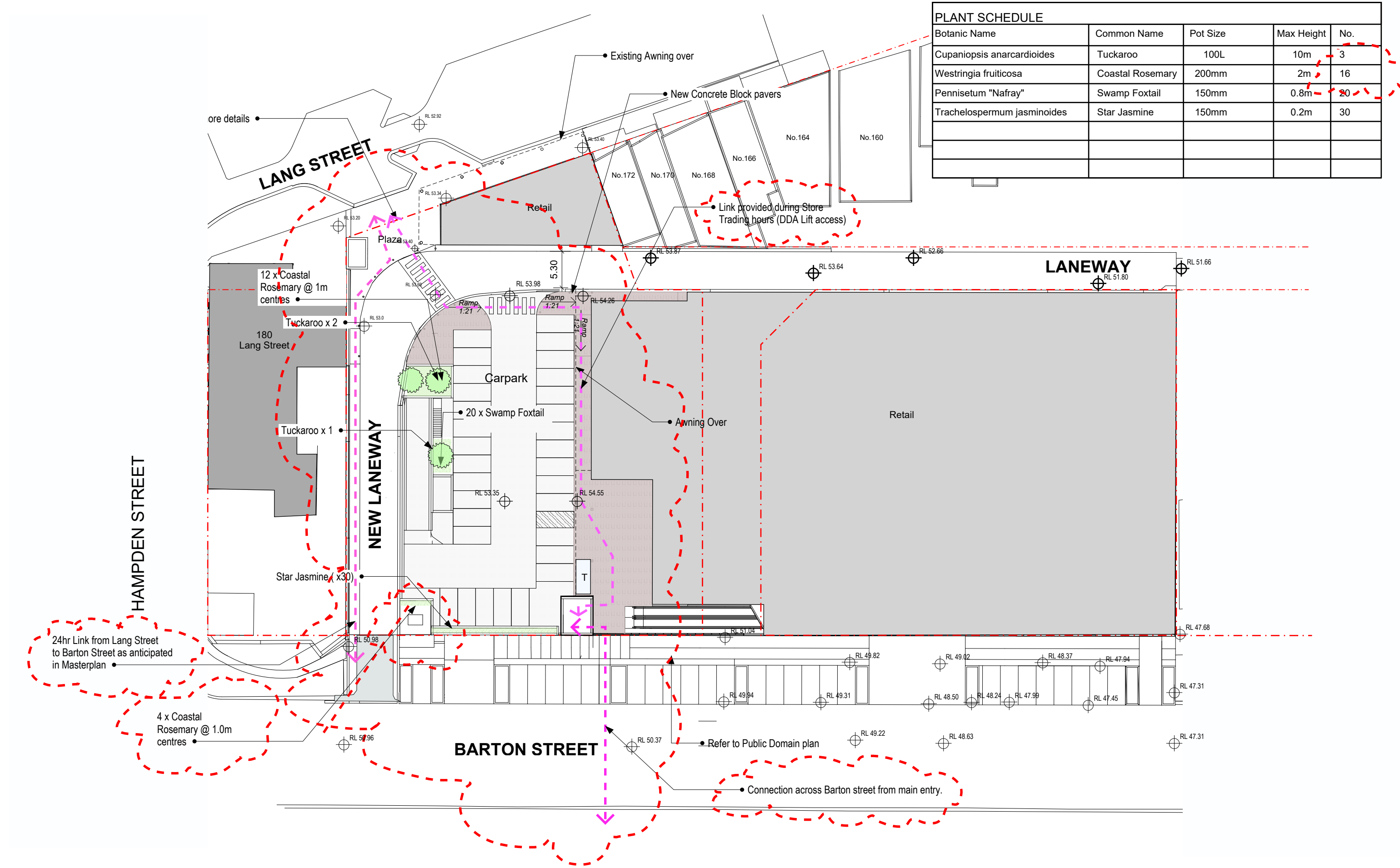
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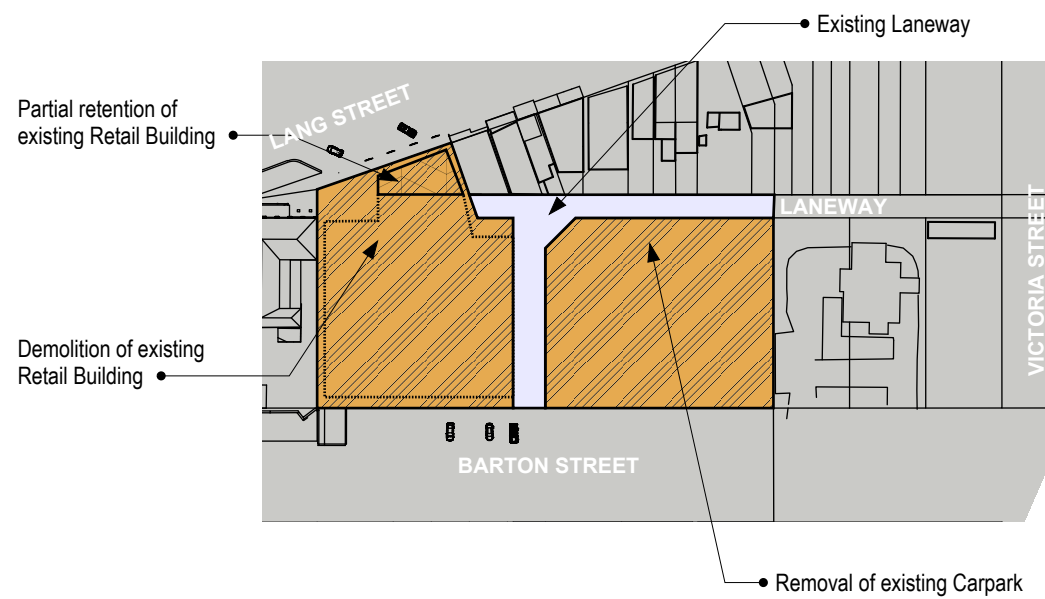
PROJECT TITLE: 174-178 LANG STREET, KURRI KURRI
ISSUED FOR DEVELOPMENT APPLICATION

Drawing Title
Drawing Scale
Issue Date
Revision

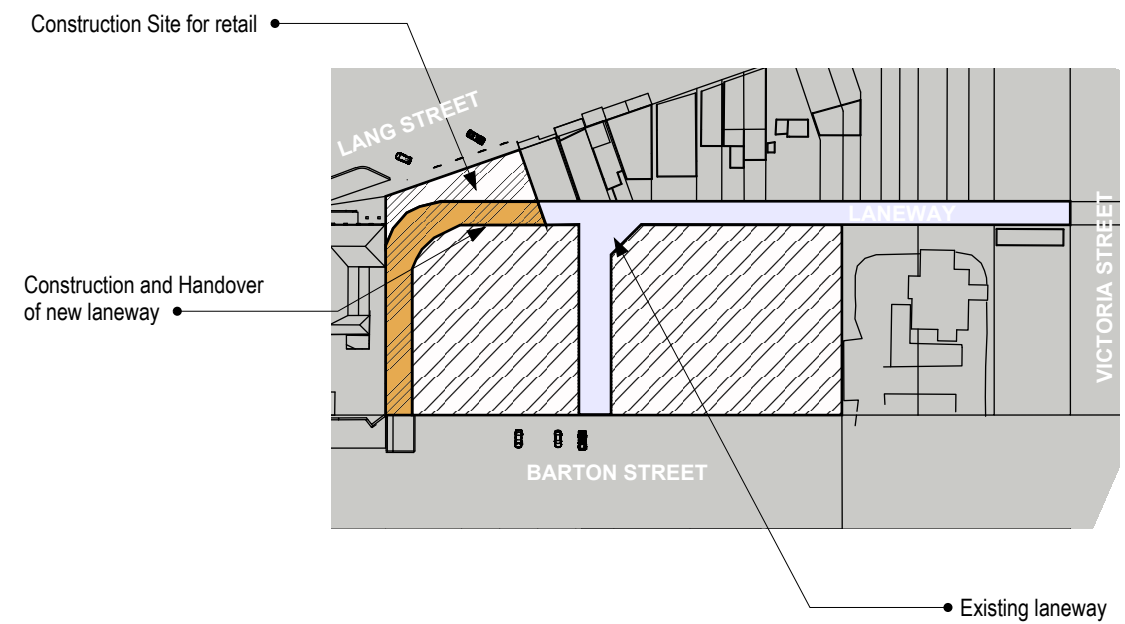
DEMOLITION PLAN
1:800@A3
21/08/2023
B

Drawing
DA04

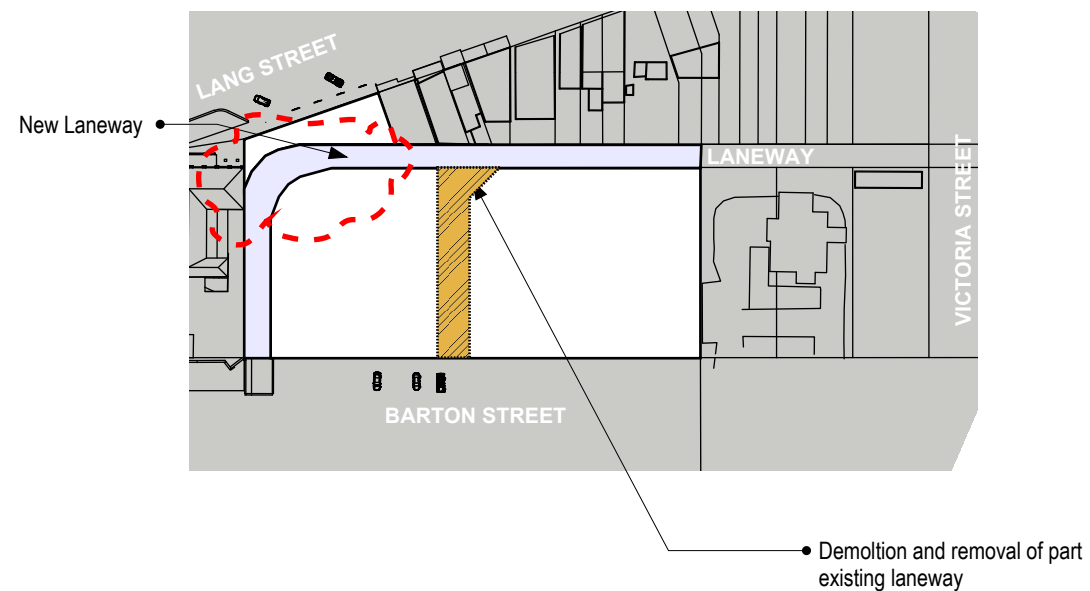




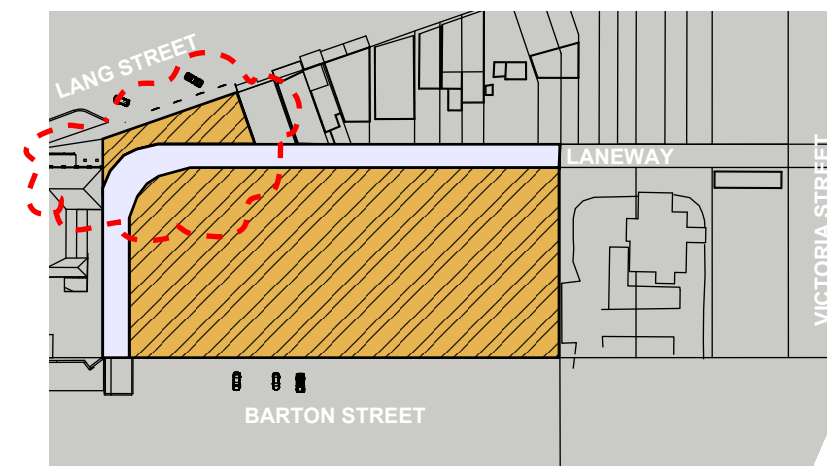
Stage 1 - Demolition




Stage 2a - Construction of laneway and Handover



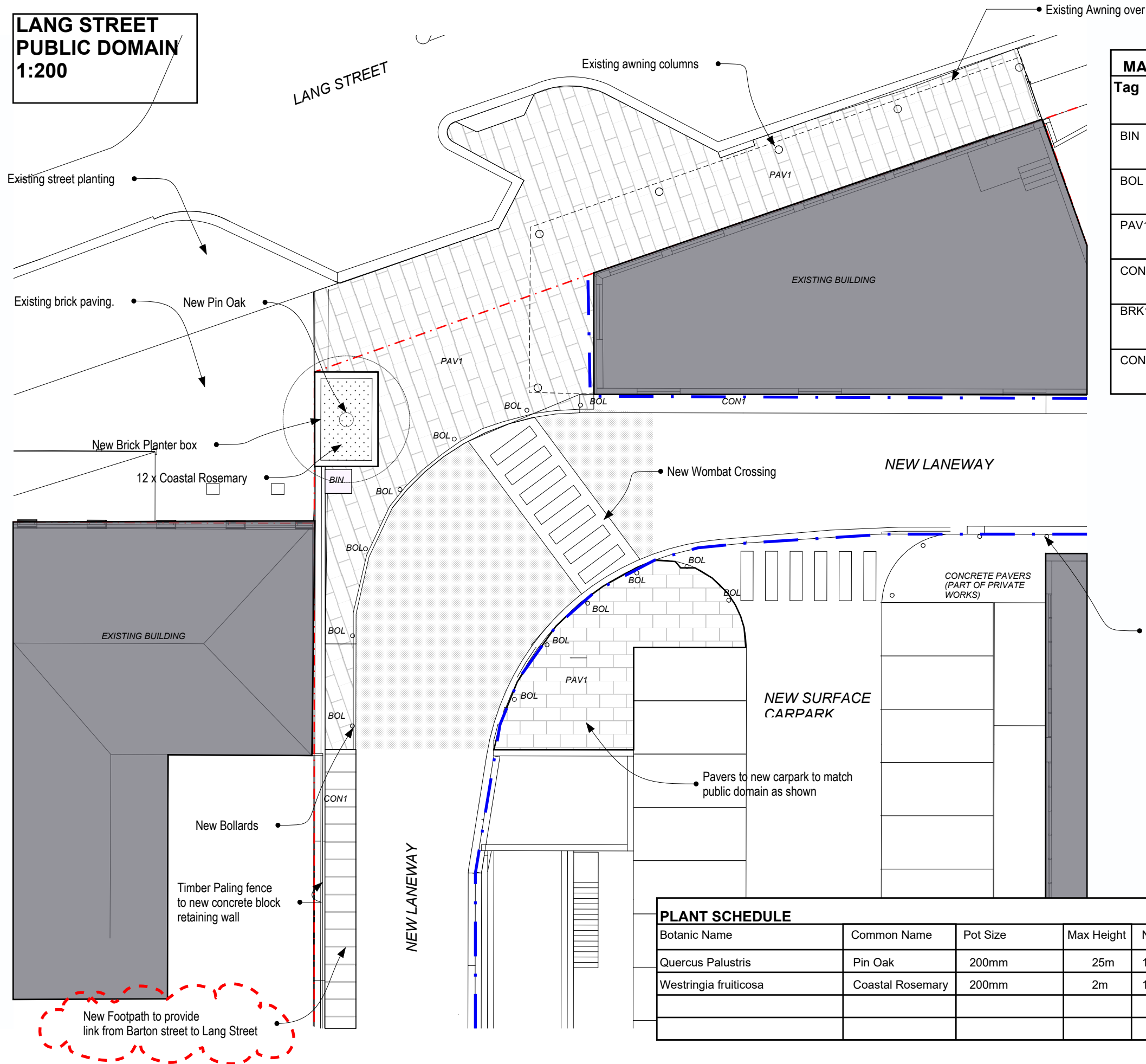
Stage 2b - Closure of Existing Lane and handover



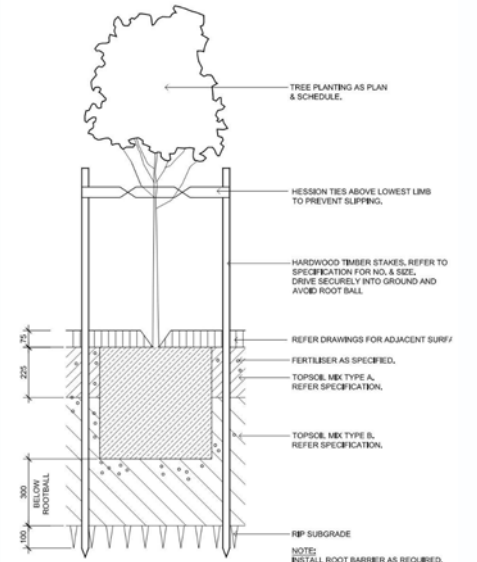
Stage 3 - Construction

VOTRAINT NO124 PTY LTD PROJECT NO: 2201	 NORTH	This drawing is protected by copyright. It may only be used for the purpose for which it was issued. Finished ground levels on the plan are subject to site conditions. Do not scale from drawings. Figured dimensions are to be given preference over scale.	PROJECT TITLE: 174-178 LANG STREET, KURRI KURRI ISSUED FOR DEVELOPMENT APPLICATION	Drawing Title Drawing Scale Issue Date Revision	SITE STAGING PLAN 1:1000@A3 21/08/2023 B	Drawing DA06
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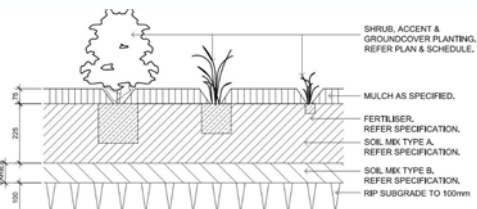
LANG STREET
PUBLIC DOMAIN
1:200



MATERIALS AND FIXTURES SCHEDULE				
Tag	Item	Name	Code	Supplier
BIN	Bin Enclosure: Commercial Centre and Carparks	Manhattan Bin	LR6533	Commercial Systems Australia
BOL	Bollard: Commercial Centre and Carparks	Urbania Bollard	SB2101	Commercial Systems Australia
PAV1	Paving: Bluestone	Natural	Sand	Sam the Paving man
CON1	Paving: Conc Footpath	Warm Grey	Broom	N/A
BRK1	Brick: 600mm high brick planter box	Everyday Life:	SKU 2302500126200 00301150	Austral Bricks
CON1	Paving: Conc Footpath	Warm Grey	Broom	N/A



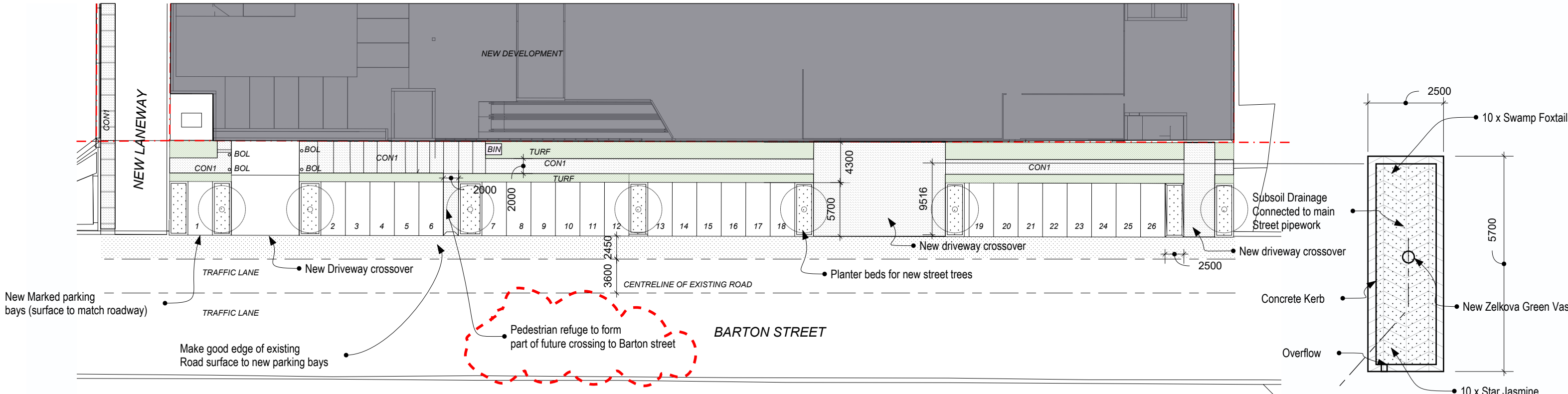
75-200L TREE
PLANTING



SHRUB AND ACCESS
PLANTING

PLANT SCHEDULE				
Botanic Name	Common Name	Pot Size	Max Height	No.
Quercus Palustris	Pin Oak	200mm	25m	1
Westringia fruticosa	Coastal Rosemary	200mm	2m	12





**BARTON STREET
PUBLIC DOMAIN
1:400**

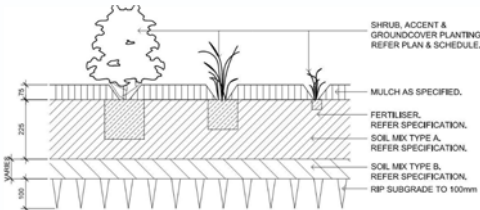
**TYPICAL
PLANTING BED
(1:100)**

FITTINGS AND FIXTURES SCHEDULE				
Tag	Item	Name	Code	Supplier
BIN	Bin Enclosure: Commercial Centre and Carparks	Manhattan Bin	LR6533	Commercial Systems Australia
BOL	Bollard: Commercial Centre and Carparks	Urbania Bollard	SB2101	Commercial Systems Australia
PAV1	Paving: Bluestone	Natural	Sand	Sam the Paving man
CON1	Paving: Conc Footpath	Warm Grey	Broom	N/A
BRK1	Brick: 600mm high brick planter box	Everyday Life:	SKU 2302500126200 00301150	Austral Bricks
CON1	Paving: Conc Footpath	Warm Grey	Broom	N/A

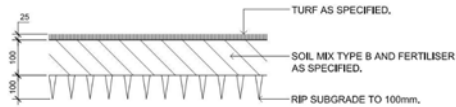
NOTES
Barton street upgrades in accordance with "Barton St East" section of Commercial Centre Masterplan

ZELKOVA
ZELKOVA SERRATA "GREEN VASE"

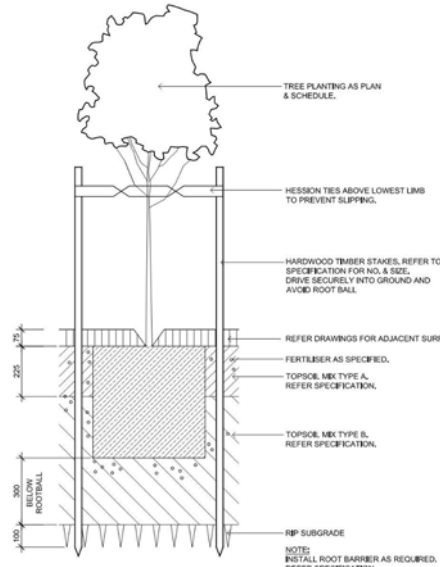
PLANT SCHEDULE				
Botanic Name	Common Name	Pot Size	Max Height	No.
Zelkova Serrata	Green Vase	100L	14m	7
Quercus Palustris	Pin Oak	200mm	25m	1
Westringia fruticosa	Coastal Rosemary	200mm	2m	12
Pennisetum "Nafray"	Swamp Foxtail	150mm	0.8m	50
Trachelospermum jasminoides	Star Jasmine	150mm	0.2m	100



**SHRUB AND ACCESS
PLANTING**

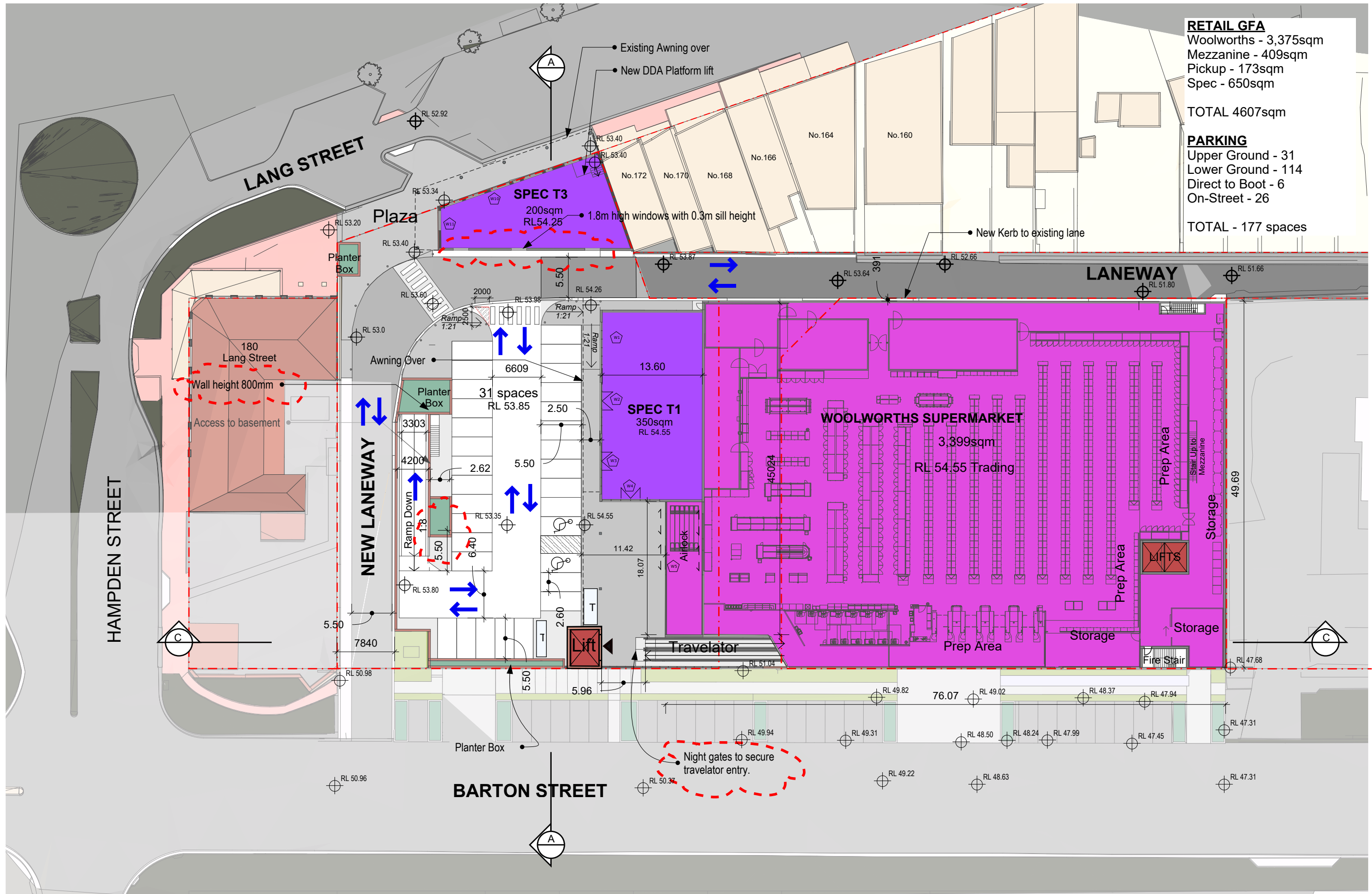


**TURF ON EVEN
GRADE**



**75-200L TREE
PLANTING**





RETAIL GFA

Woolworths - 3,375sqm
Mezzanine - 409sqm
Pickup - 173sqm
Spec - 650sqm

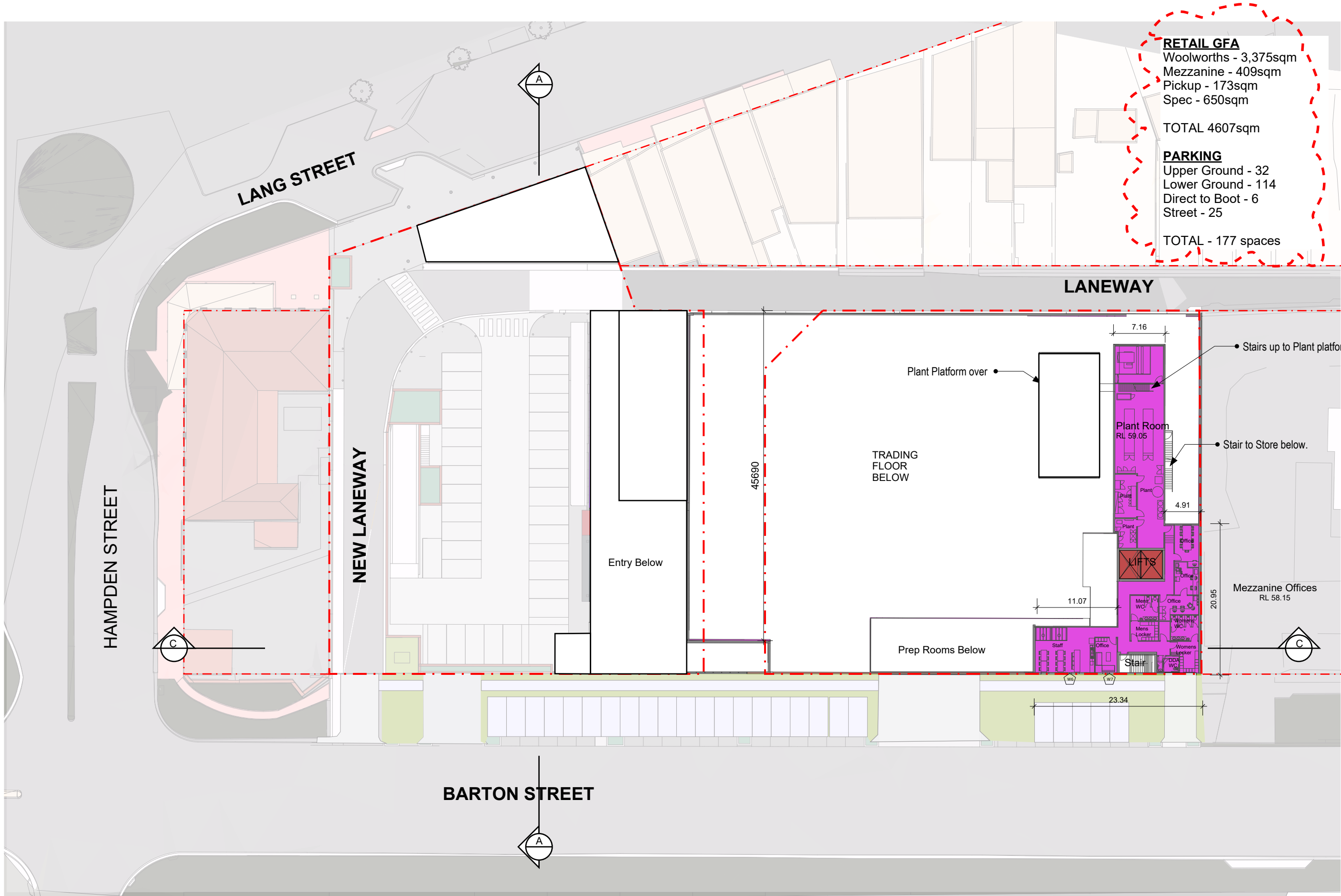
TOTAL 4607sqm

PARKING

Upper Ground - 31
Lower Ground - 114
Direct to Boot - 6
On-Street - 26

TOTAL - 177 spaces





VOTRAINT NO124 PTY LTD
PROJECT NO: 2201



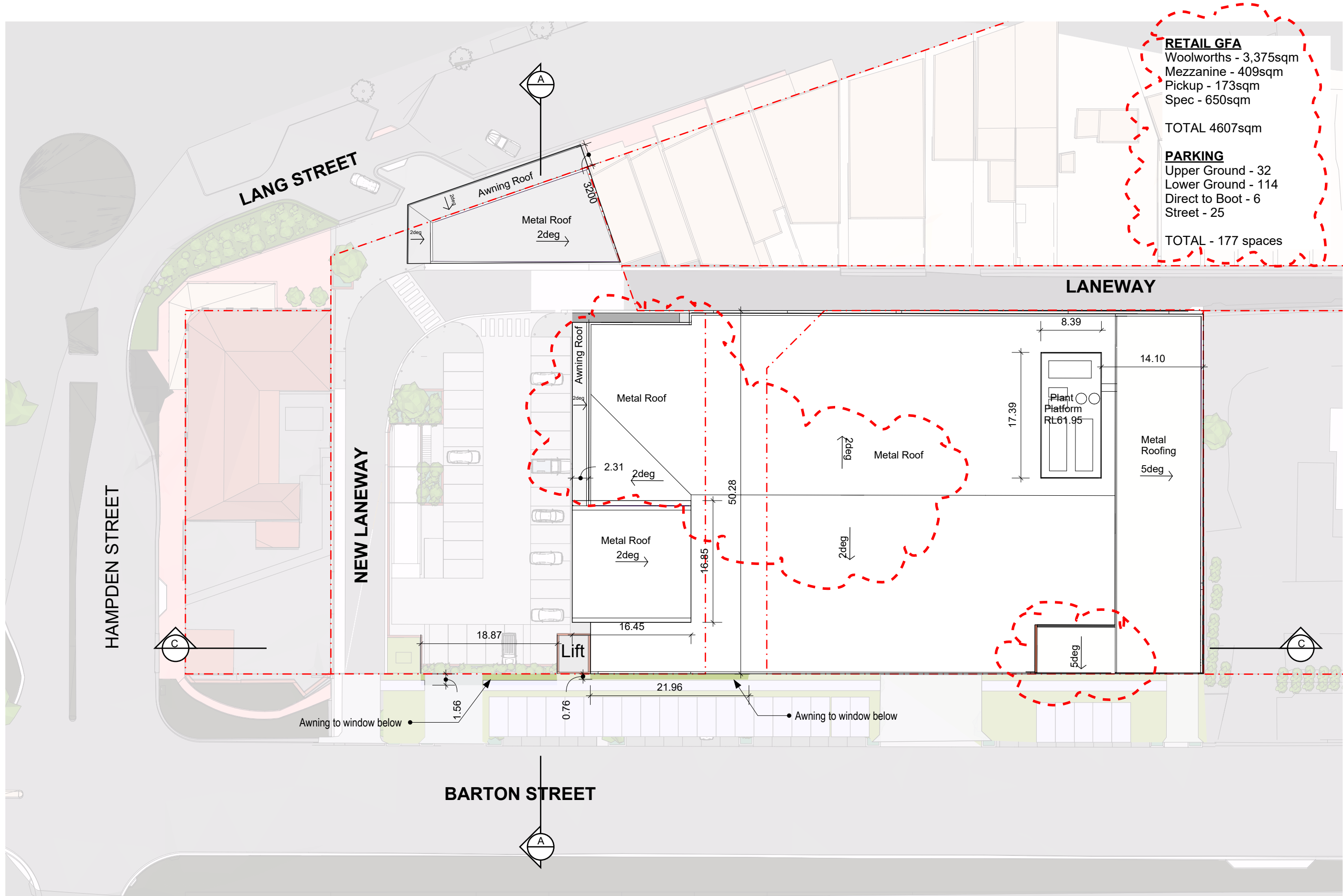
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PROJECT TITLE:
174-178 LANG STREET, KURRI KURRI
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DEVELOPMENT APPLICATION

Drawing Title
Drawing Scale
Issue Date
Revision

MEZZANINE FLOOR
1:500@A3
21/08/2023
B

Drawing
DA12



VOTRAINT NO124 PTY LTD
PROJECT NO: 2201



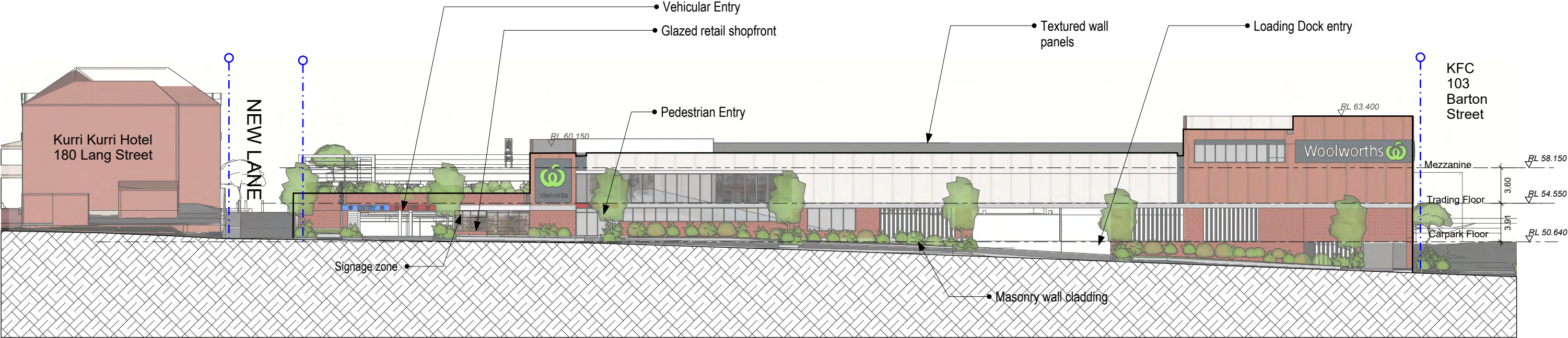
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174-178 LANG STREET, KURRI KURRI
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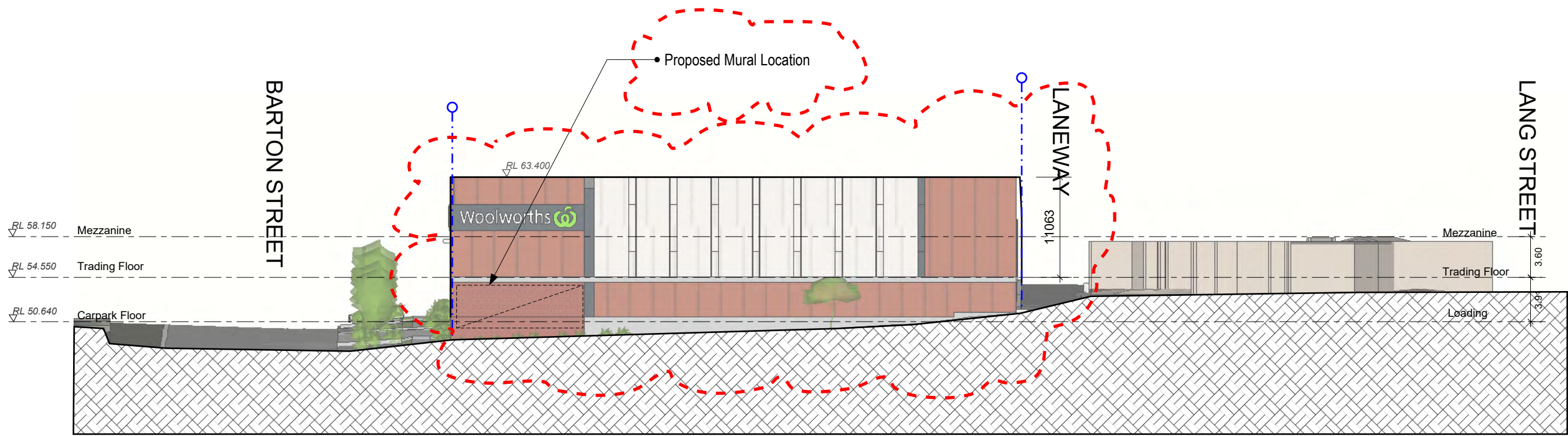
Drawing Title
Drawing Scale
Issue Date
Revision

ROOF LEVEL
1:500@A3
21/08/2023
B

Drawing
DA13



SOUTH ELEVATION (BARTON STREET)



EAST ELEVATION

MATERIALS LEGEND

BRK1 - Brickwork	PT1 - White Painted Finish
CON1 - Masonry Wall Panels	GL1 - Glass Panels
CON2 - Concrete Textured	PD1 - Powdercoated Window Frames
CON3 - Concrete Blockwork	PD2 - Powdercoated Screens

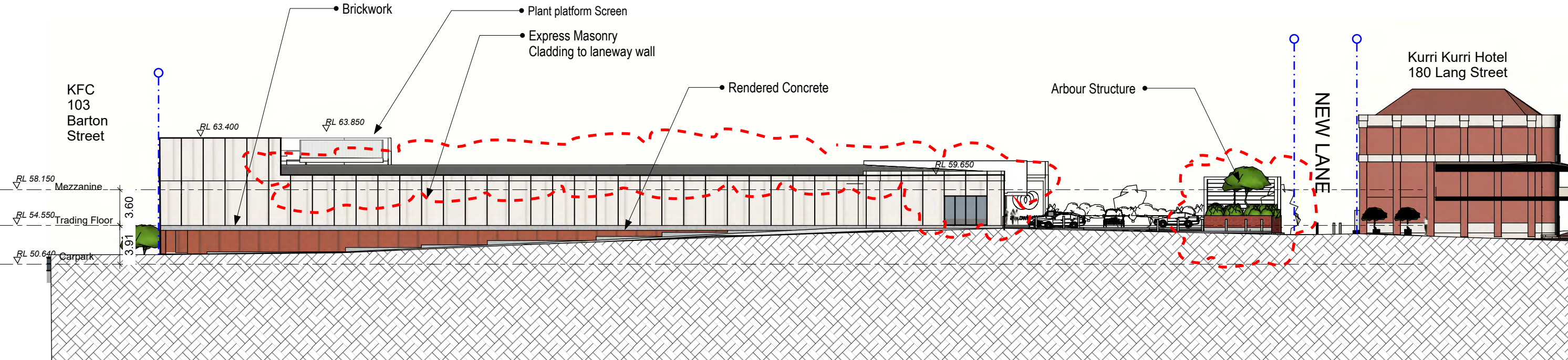
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PROJECT NO: 2201

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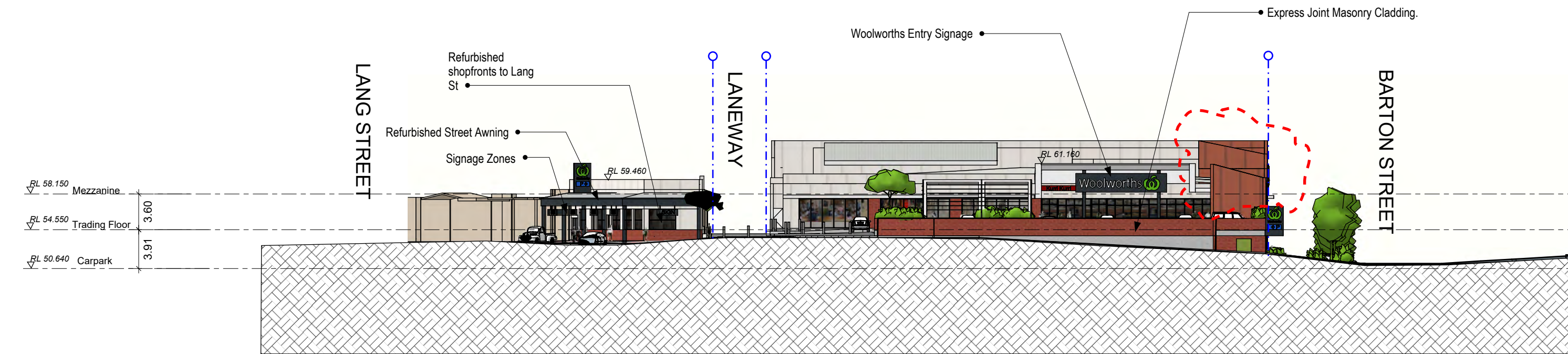
PROJECT TITLE: 174-178 LANG STREET, KURRI KURRI
ISSUED FOR DEVELOPMENT APPLICATION

Drawing Title **ELEVATIONS - SOUTH & EAST**
Drawing Scale 1:400@A3
Issue Date 21/02/2024
Revision C

Drawing
DA20



NORTH ELEVATION (LANEWAY)



WEST ELEVATION (NEW LANEWAY)

MATERIALS LEGEND

BRK1 - Brickwork	PT1 - White Painted Finish
CON1 - Masonry Wall Panels	GL1 - Glass Panels
CON2 - Concrete Textured	PD1 - Powdercoated Window Frames
CON3 - Concrete Blockwork	PD2 - Powdercoated Screens

VOTRAINT NO124 PTY LTD
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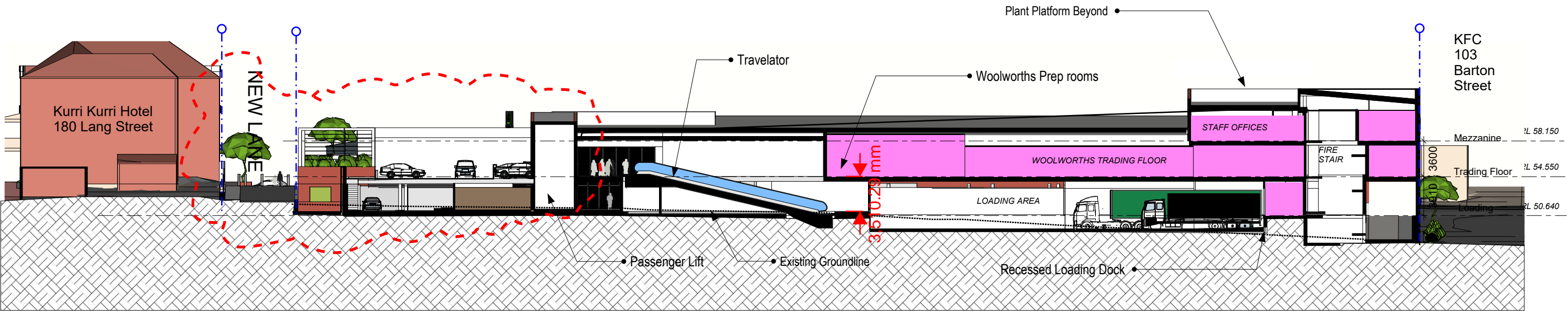
PROJECT TITLE:
174-178 LANG STREET, KURRI KURRI
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Revision

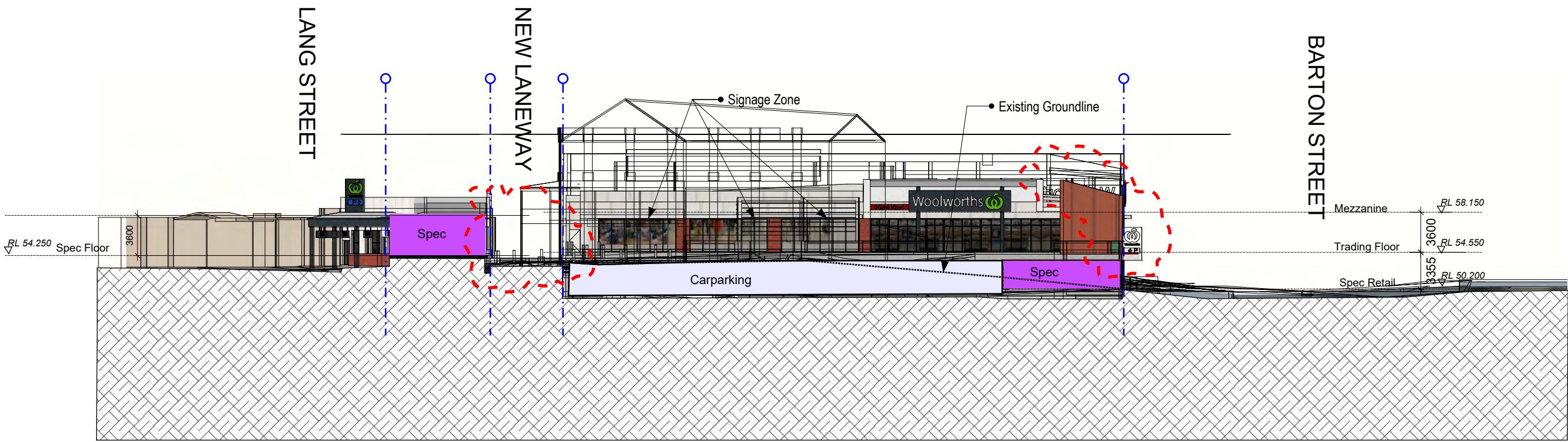
ELEVATIONS- NORTH & WEST
1:400@A3
21/08/2023
B

Drawing

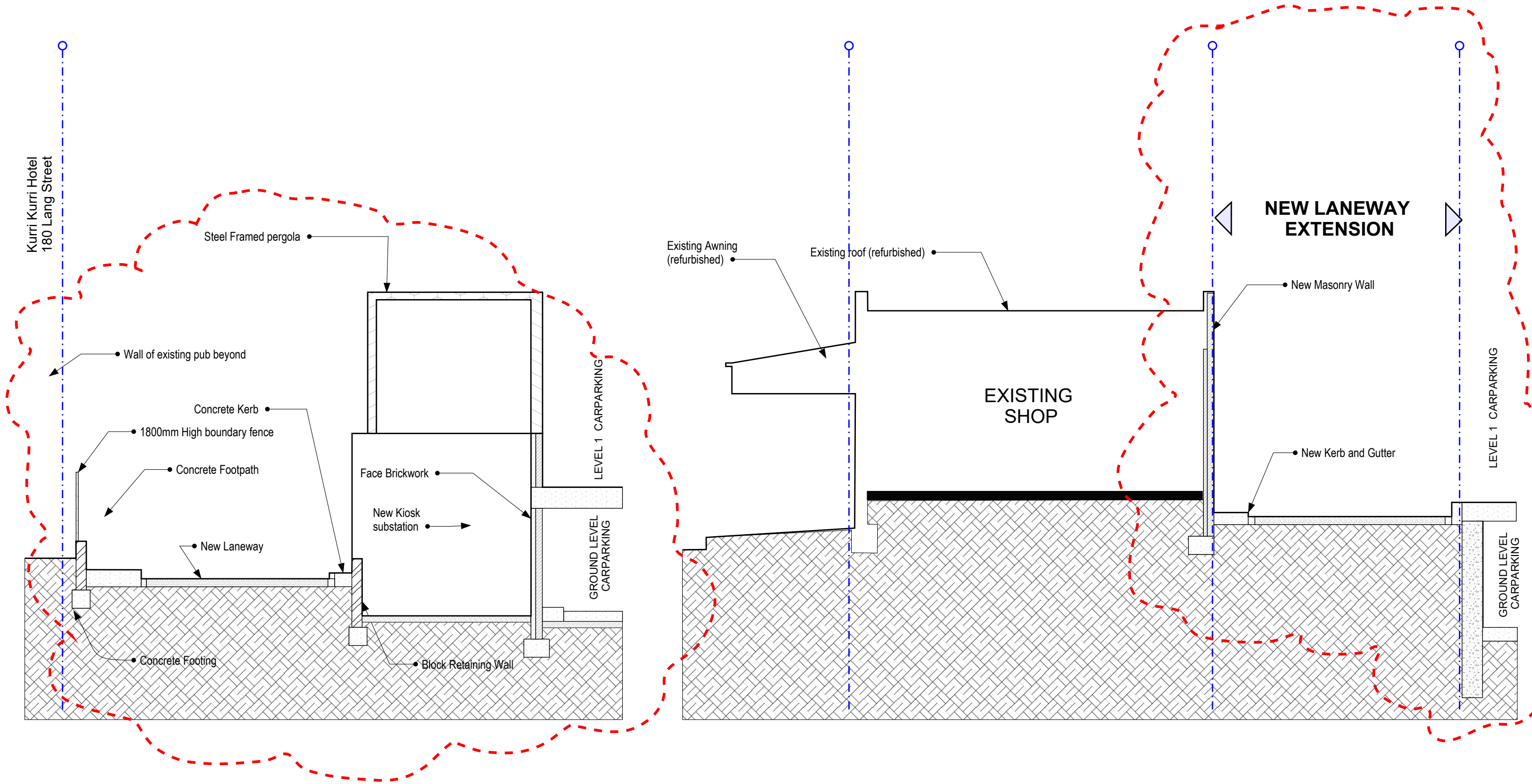
DA21



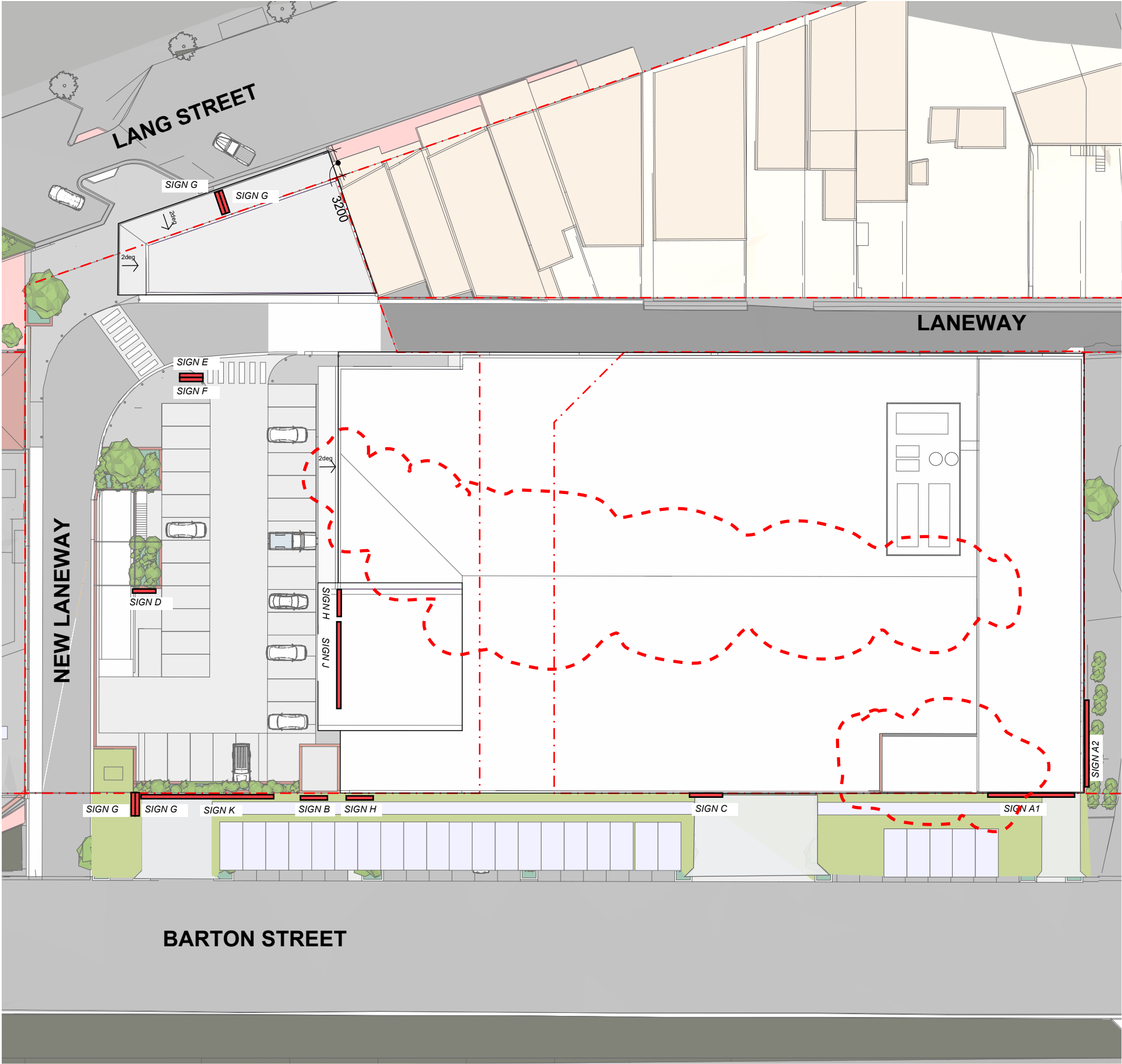
SECTION C-C

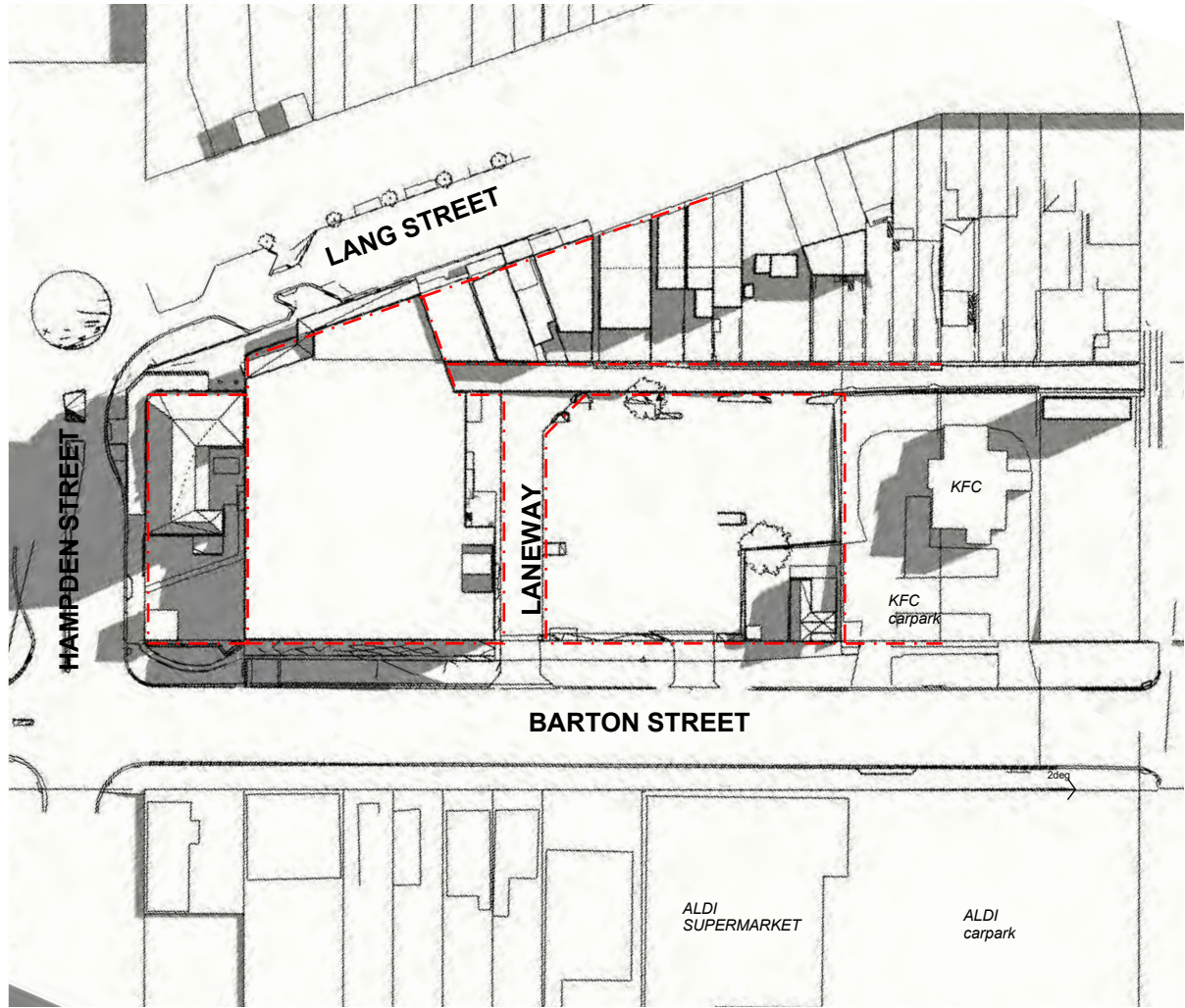


SECTION A-A

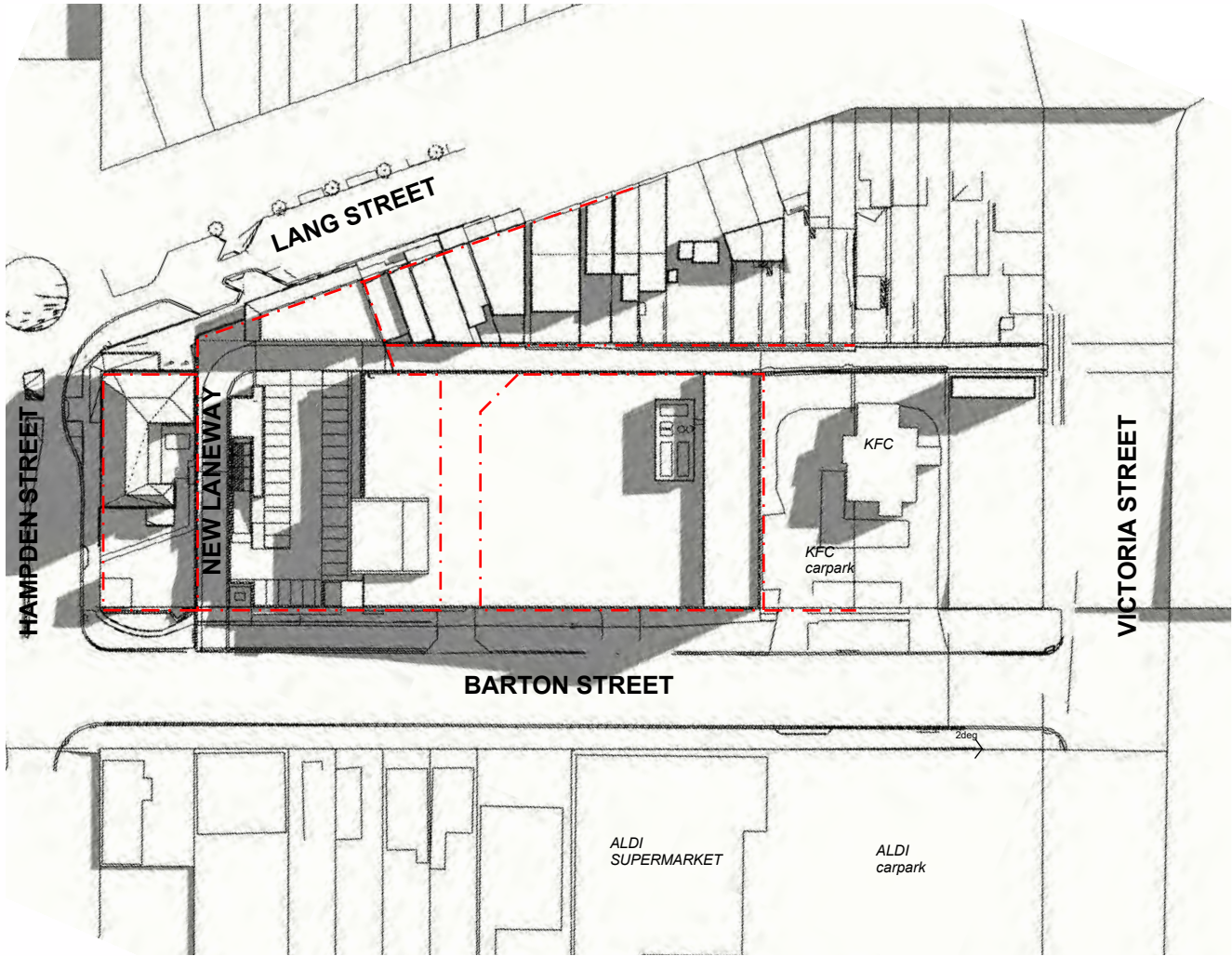


TYPE	GRAPHIC	DESCRIPTION	AREA
SIGN A x 2		Internally illuminated sign	16.5sqm
SIGN B		Internally illuminated Sign	14.4sqm
SIGN C		2d non-illuminated sign	1.2sqm
SIGN D		2d non-illuminated sign	0.6sqm 1.2sqm
SIGN E		Internally illuminated signage with vinyl face	1.44sqm
SIGN F		2d non-illuminated signage	1.44sqm
SIGN G		Internally illuminated signage with vinyl face	5.4sqm
SIGN H		Internally illuminated signage with vinyl face	2.2sqm
SIGN J		Internally illuminated sign	16.5sqm
SIGN K		Internally illuminated signage with vinyl face	4.7sqm



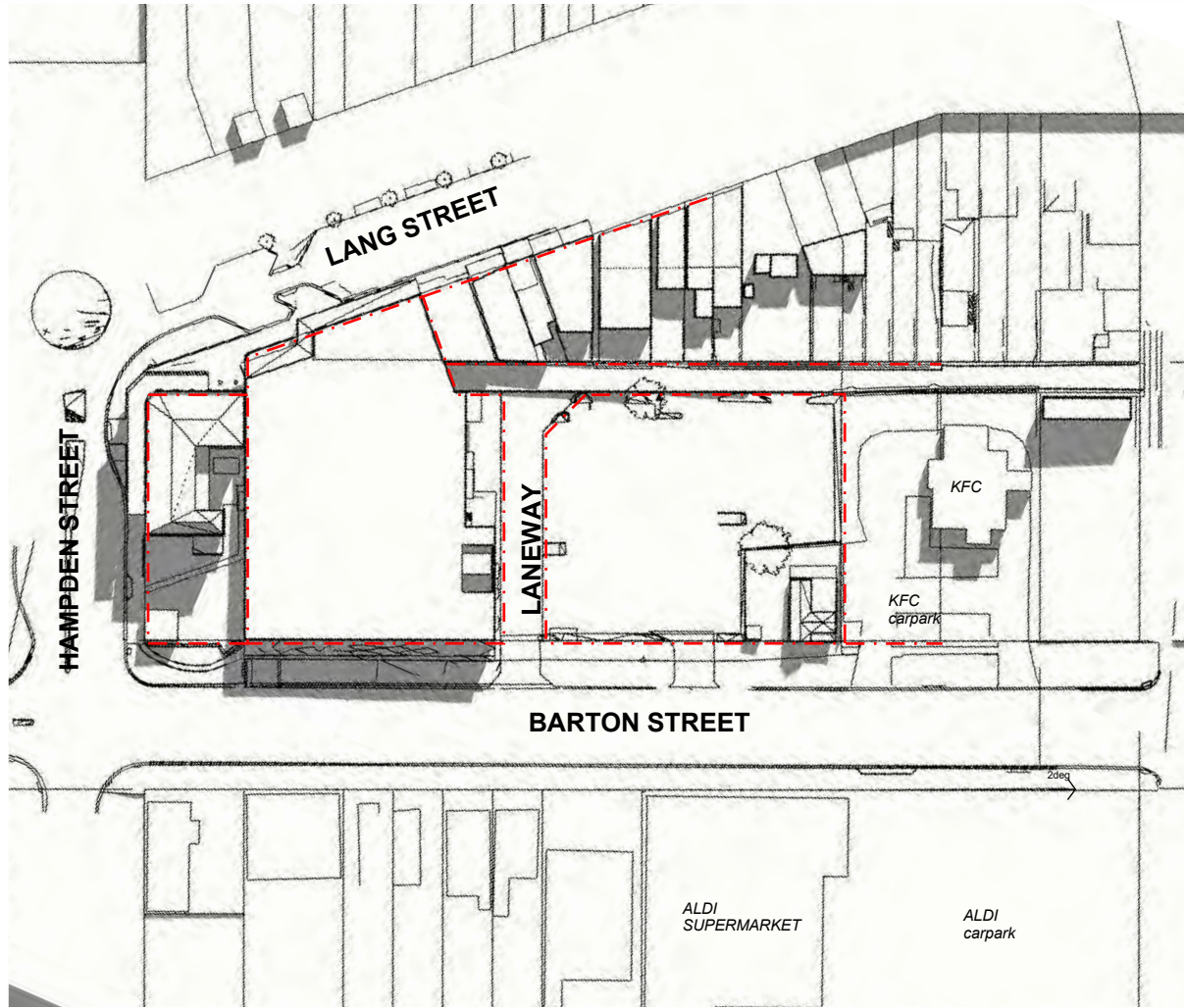


9AM JUNE 22ND - EXISTING

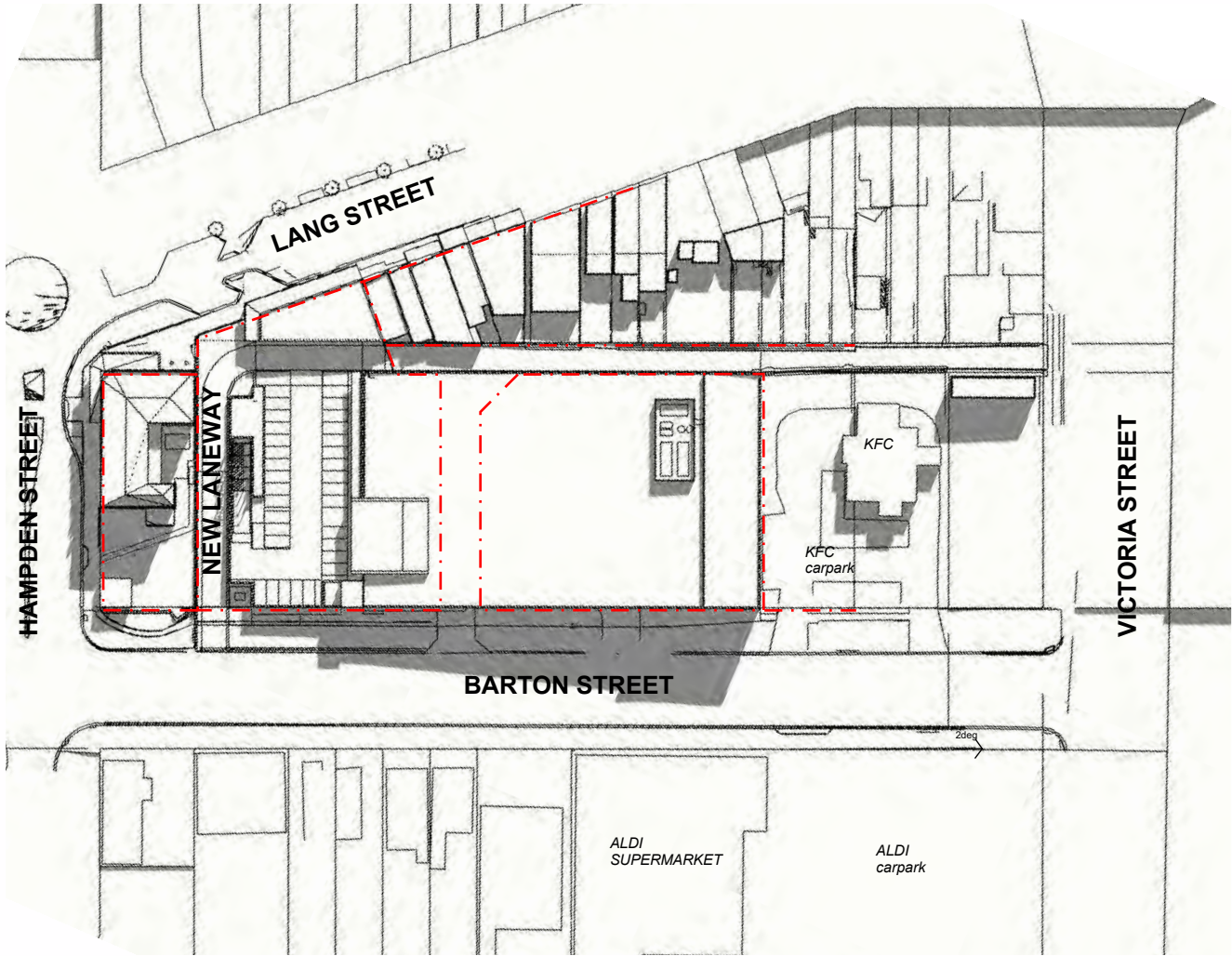


12PM JUNE 22ND - PROPOSED



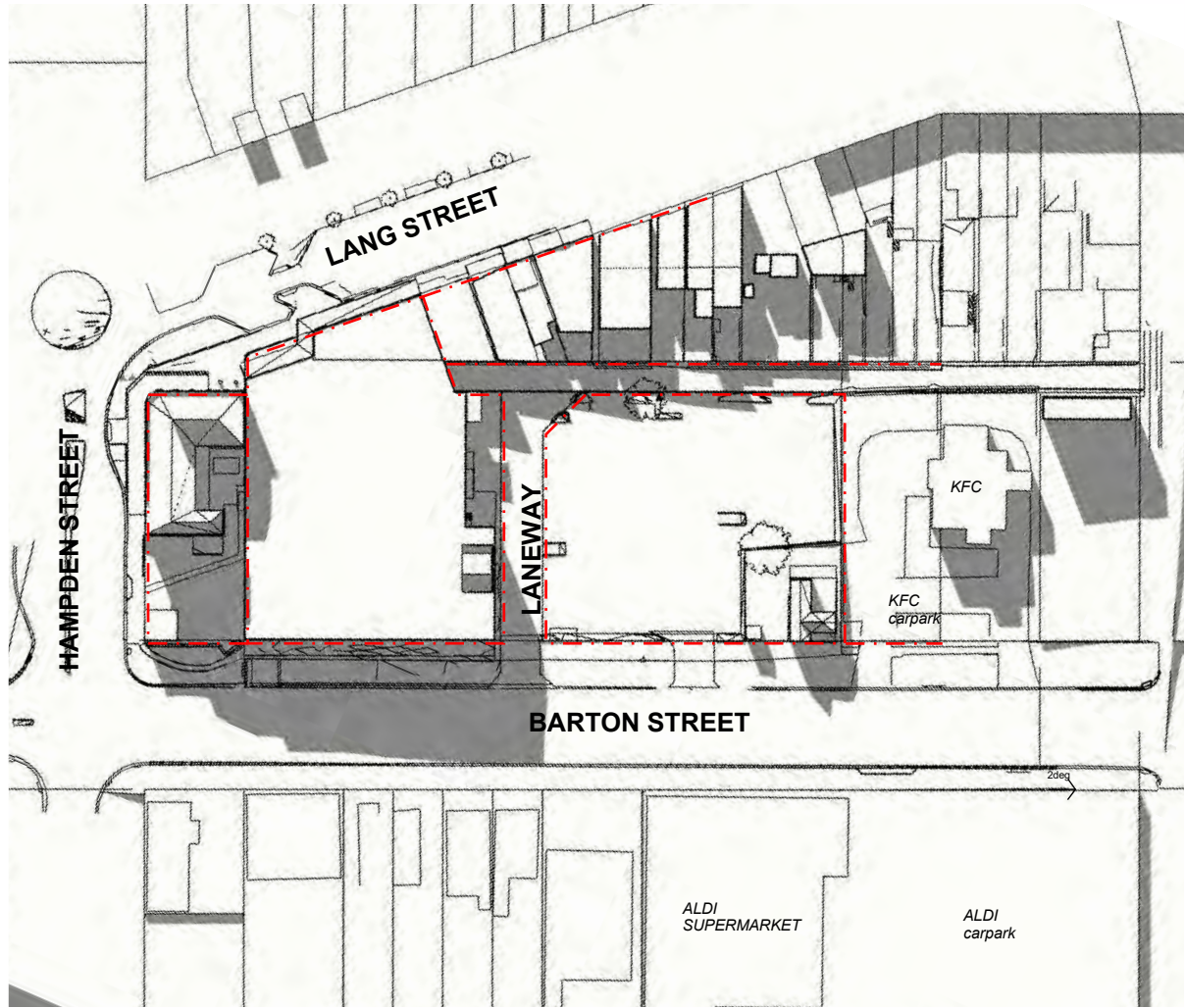


9AM JUNE 22ND - EXISTING

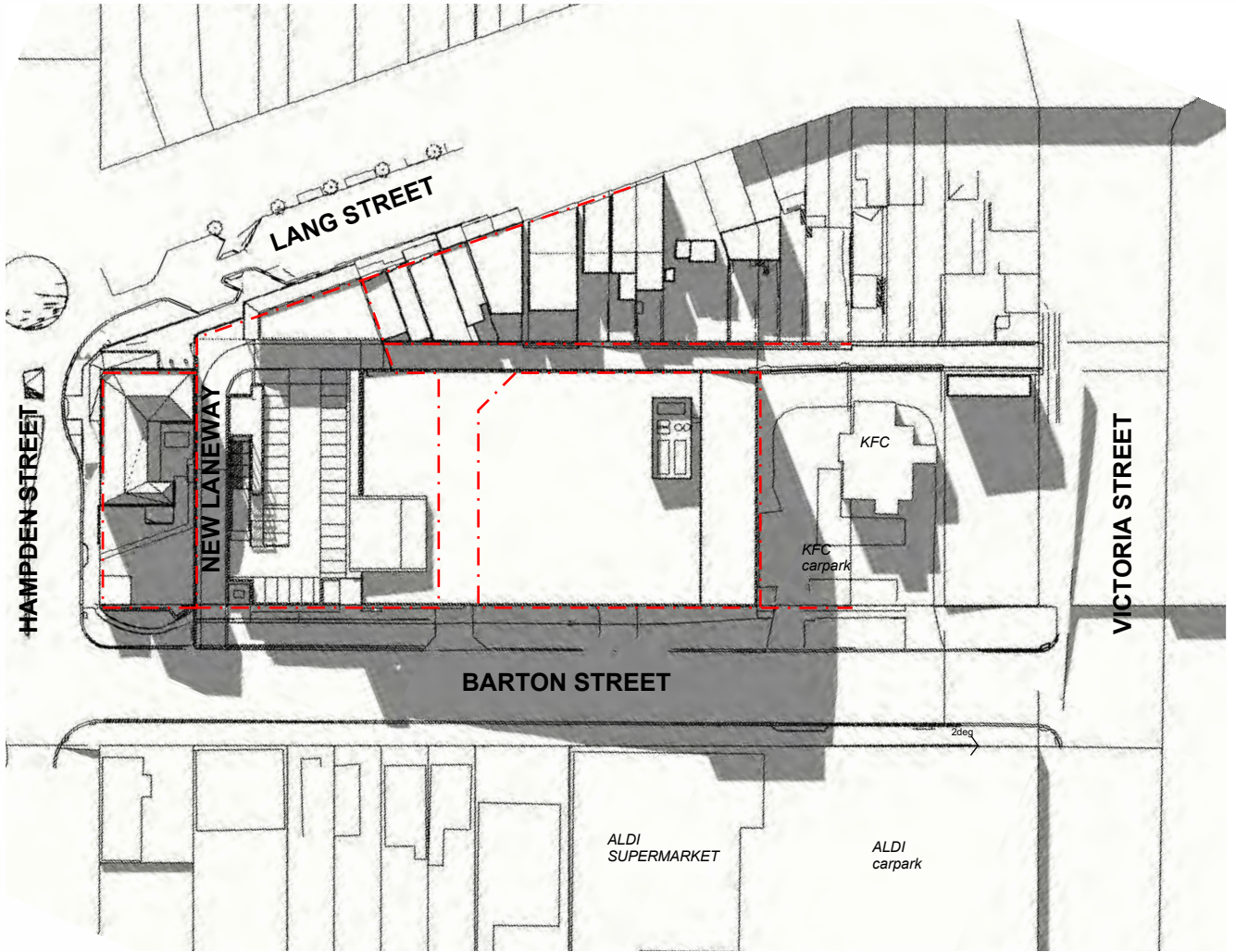


12PM JUNE 22ND - PROPOSED





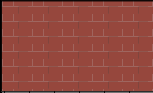
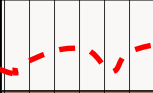
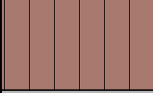

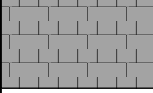






9AM JUNE 22ND - EXISTING



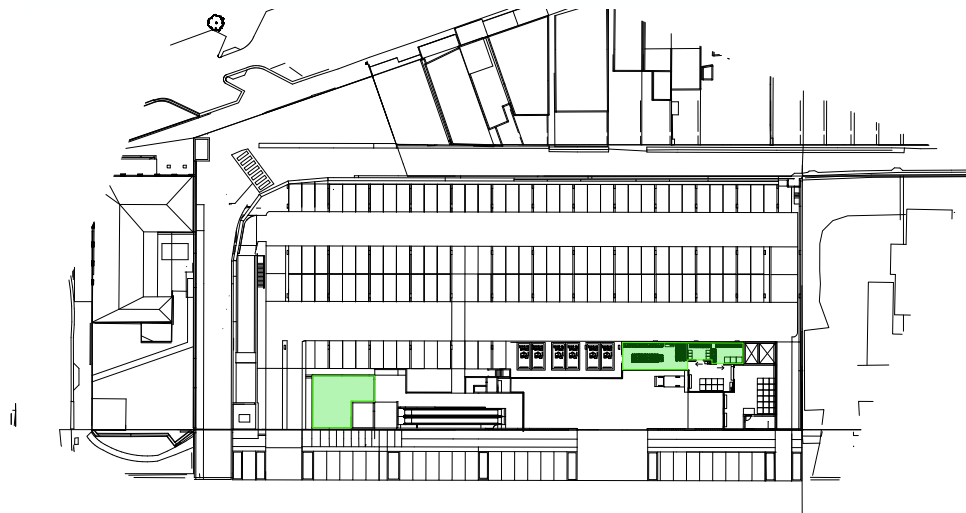
12PM JUNE 22ND - PROPOSED



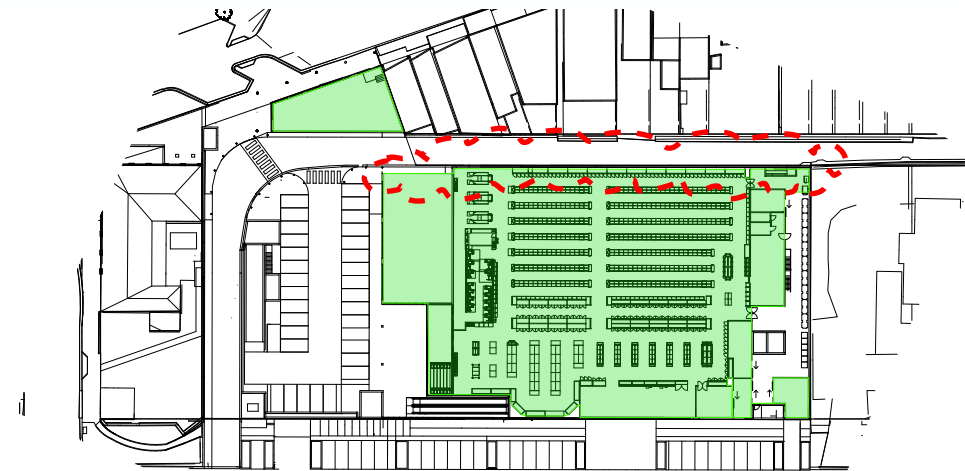
MATERIALS LEGEND

		BRK1 - Brickwork
		CON1 - Masonry Wall Panels Off White
		CON4 - Masonry Wall Panels Oxide
		CON2 - Concrete Textured
		CON3 - Concrete Blockwork
		PT1 - White Painted Finish
		GL1 - Glass Panels
		PD1 - Powdercoated Window Frames
		PD2 - Powdercoated Screens
		PAV1 - Concrete Pavers
		PAV2 - Brick Pavers

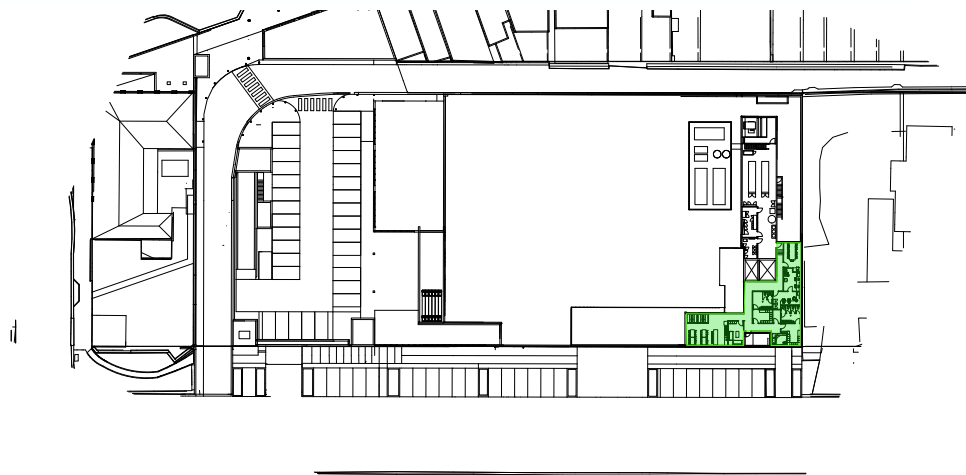
Perspective
View from new on grade parking
towards supermarket entry point.



LOWER GROUND PLAN
1:1500@A3



GROUND PLAN
1:1500@A3



MEZZANINE PLAN
1:1500@A3

GFA CALCULATIONS
Lower Ground - 211.79sqm
Ground - 3,695.72sqm
Mezzanine - 231.9sqm
TOTAL - 4,139.41sqm

